

T.H.E. Home Inspection Company

www.theco.ca

E-mail: independent@theco.ca

Ph: 294-0066



A Proud MEMBER of:



Independent Home Inspectors
of North America

<http://www.independentinspectors.org>

For: John Smith

Address: Vancouver

Age: approx 8yr.

Weather: Sunny/Cold

Agent: June

Ph: 000-0000

Type: 2700 sq.ft.

Time: 7:30 to 3:30

Date: 2002

Orientated: South East



Photo has
been obscured
for vendor
privacy



Conditions and Limitations

The scope of this survey is bound by what is visible or accessible, destructive testing was not conducted. Conditions that might require engineering to discover such facts as; soil, structural, hazardous materials, and toxic concerns are not included in this survey. An expert in the field should explore any of your concerns or raised by the inspector. The observations, and opinions outlined in this report are a reflection of the inspector's experience and training, and are not to be considered conclusive without destructive testing or other technical means conducted by a qualified specialist; such as an Electrician, Engineer, Plumber, etc.

Liability is limited to the visual observations of the inside and exterior surfaces of the home at the time of the inspection.

Repair Estimates included in the report are to be considered rough ballpark figures. **Hard estimates should be obtained before making purchase decisions.**

Note: This report or excerpts thereof are the sole property of T.H.E. Home Inspection Company. The contents of this report shall not be used by anyone through advertising, public relations, sales, news or other media, conclusions or extracts from or regarding the report by third parties is not permitted. This report is not for resale or to be given to third parties without prior written approval of Ted Gilmour.

Preface

This report does not endeavor to point out the good features of the home; that is the privilege of the Vendor. The findings of this report are intended to educate the buyer towards maintaining the equity of their investment.

I use the asterisk symbol to indicate the degree of importance of a particular description: two ** indicates minor concern and five ***** requires immediate repair in my opinion. Safety concerns rate *****. The page number follows each deficiency descriptive e.g. p2

My purpose in writing this report is based on providing useful information about the home: within reason, to enable the owner to identify possible areas of maintenance and to aid in the general upkeep, safety, and health of the home. If repairs are made as outlined the home should maintain value and provide worry free enjoyment and comfort.

In the time I have been doing inspections (15years) I have not found a structure that was beyond scrutiny. Every structure has inherent defects: design, execution of the design, the application of material, or maintenance neglect. The volume of deficiencies is typical of my investigations, I will generally find at least one or two major defect or an accumulation of lesser concerns.

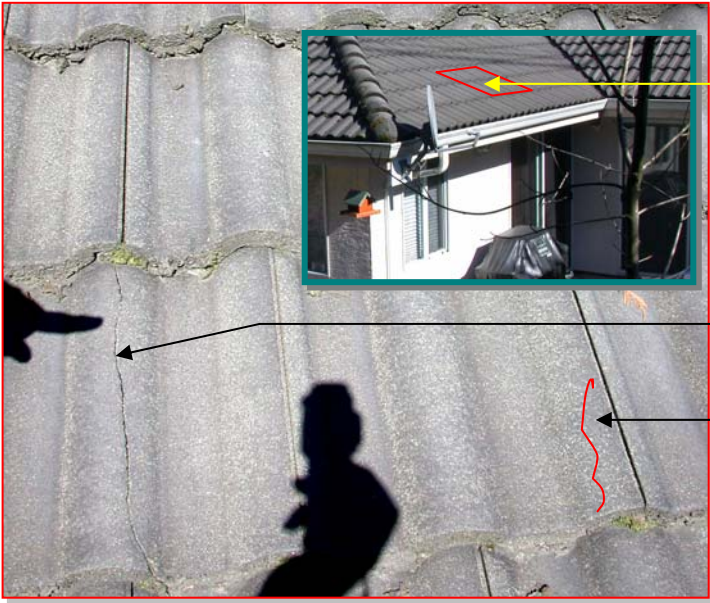
Note:

- This report is totally custom written, it is not computer generated nor does it employ generalized "Boilerplate".
- The summary is a manual cut and paste process, sometimes I leave out items in my haste.

Roofing

- substrates
 - 1x4" strapping on 2x6" Rafters (trusses)- no problems observed
- no signs of water ingress or rot
- roofing
 - ConcreteTile- Columbia Tile – Chris or Andy 604-596-3388 call for recommendations on tile repair or approved contractors

*** - approx. 8 cracked tiles p3 (cleaned and repair) **\$300**
 - approx. overall age expectancy 40 to 50 yr.



Cracked tile in photo as in this location

Approx. 8 cracked tiles possibly more
 - most of the cracked tiles are broken at tile connections as in this illustration

- accessories

- roof flashings- no problems observed
 - *** - ridge caps- moss growth p3- recommend cleaning (do not pressure wash roof)
- Note: concrete tiles are painted with an acrylic paint- pressure washing will damage it



- Moss growth along ridges will damage acrylic finish

Southeast ridges have the most moss growth

- loose moss should be washed off the roof to prevent it from taking up residence

- lead flashings over hip/ridge transition- Good

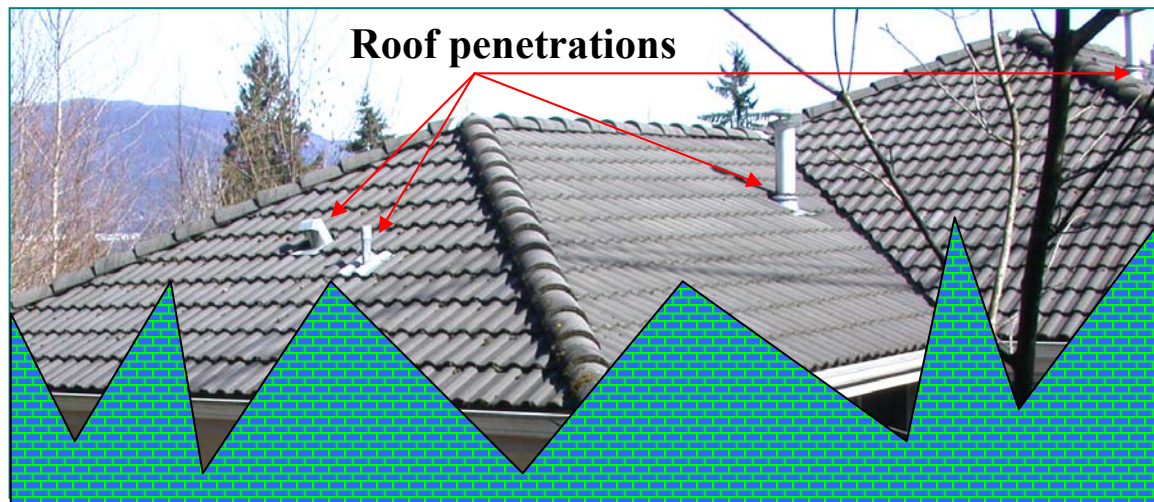
Roofing continued:

- valleys- no problems observed
- eaves protection- continuous Foil underlayment- no problems observed

**

- roof penetrations- underlayment is not sealed around penetrations p4

Comment: anticipated leakage at these penetrations is minimal and would likely only occur during heavy winds



-drainage systems

- **** - deep profile aluminum gutters- evidence of water overflowing gutters p4

Comment: overflowing gutters can cause damage to fascia (clean gutters on regular basis)

- **** Recommendation: install drip lip under underlayment to extend into gutter p4



- gutter slope- not tested

**

- gutter fasteners- average installation (average strength re: snow loads) p4
- 2x3" aluminum down pipes- no problems observed
 - drain to what appears to be PVC perimeter drainage
 - no problems detected

-sump

- was clean- no problems observed

Structural Observations

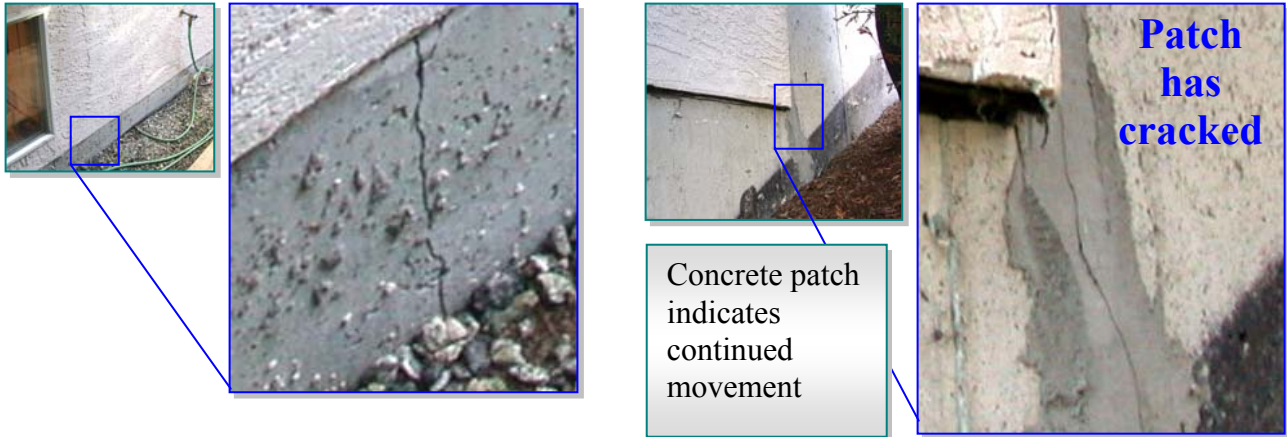
Basement

- foundations

- cracking

***** - 2 foundation cracks approx. 1/8" observed (east and west side p5 **\$400** of building)

Comment: these cracks are significant- indication of continued differential movement. Recommend: dig out to the foundation footing- using fiberglass mesh tape apply tar patch to prevent water ingress to interior



***** **Recommendation:** consult structural engineer- foundation may require monitoring hardware p5 installed and possibly underpinning and or anchorage (an inexpensive gauge is epoxied to the crack to measure any movement over time)

** - no slab caulking (caulking installed around the interior slab perimeter) p5

There are no widely accepted formal standards on how to quantify foundation failure. Therefore, the opinion concerning the performance of this foundation, at this time, is subjective and based on my knowledge and experience.

It is not uncommon for foundations to reveal some cracking. Crack repairs indicate possible symptoms of differential movement. I am not qualified to evaluate or predict the significance of these symptoms and therefore defer qualifying these symptoms to a qualified professional of your choice.

- walls and column

- no problems observed

- sill plate- not observed (visual observations not possible)

- anchorage- not observed (visual observations not possible)

- moisture protection- not observed (visual observations not possible)

- rot due to proximity to grade/below grade- not observed (visual observations not possible)

- 1st floor systems

- 2x8" floor joists- size/span adequate

- minimal sagging of floors observed (mostly at door openings)

*** - OSB sub floor material- vulnerable to moisture (especially kitchens & bathrooms) p5

Comment: maintain caulking around vinyl perimeters

structural observations continued:

- 2nd floor

- OSB sub floor material- vulnerable to moisture (will swell and is a good medium for mold growth)
- minimal floor deflection observed (door openings)

- attic

- ceiling joists/truss 2' on centers- no problems observed
- 2x6" rafters (trusses)
- foil coated polyolefin underlayment- did not observe any tears, voids, or overlapping deficiencies (that is relatively rare)



- retaining walls

- wood retaining walls- no problems observed

Impression of Structure:

No indication of structural deficiencies beyond what appears to be natural initial settling.

Exterior

- city water shutoff located in driveway

claddings

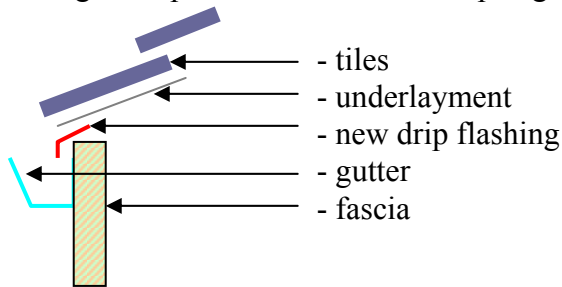
- hard rock stucco material

- minor cracking at wall openings e.g. windows and doors, cracking p7 at exterior corners will require repair

\$500

- perforated aluminum soffits- no problems observed

- fascia- vulnerable to gutter splash back- installed drip edge



-flashings

- doors and window head flashings for the most part are protected by overhang

- exposed front living room- round feature p7 caulk all windows/doors \$ 250 window does not have a drip flashing and is not sealed

Recommend: DyMonic polyurethane or other suitable caulking around window perimeter (Cascade Aqua-Tec Ltd. #201-4438 Juneau St. Burnaby Ph: 291-6101)

- wall and detail transitions

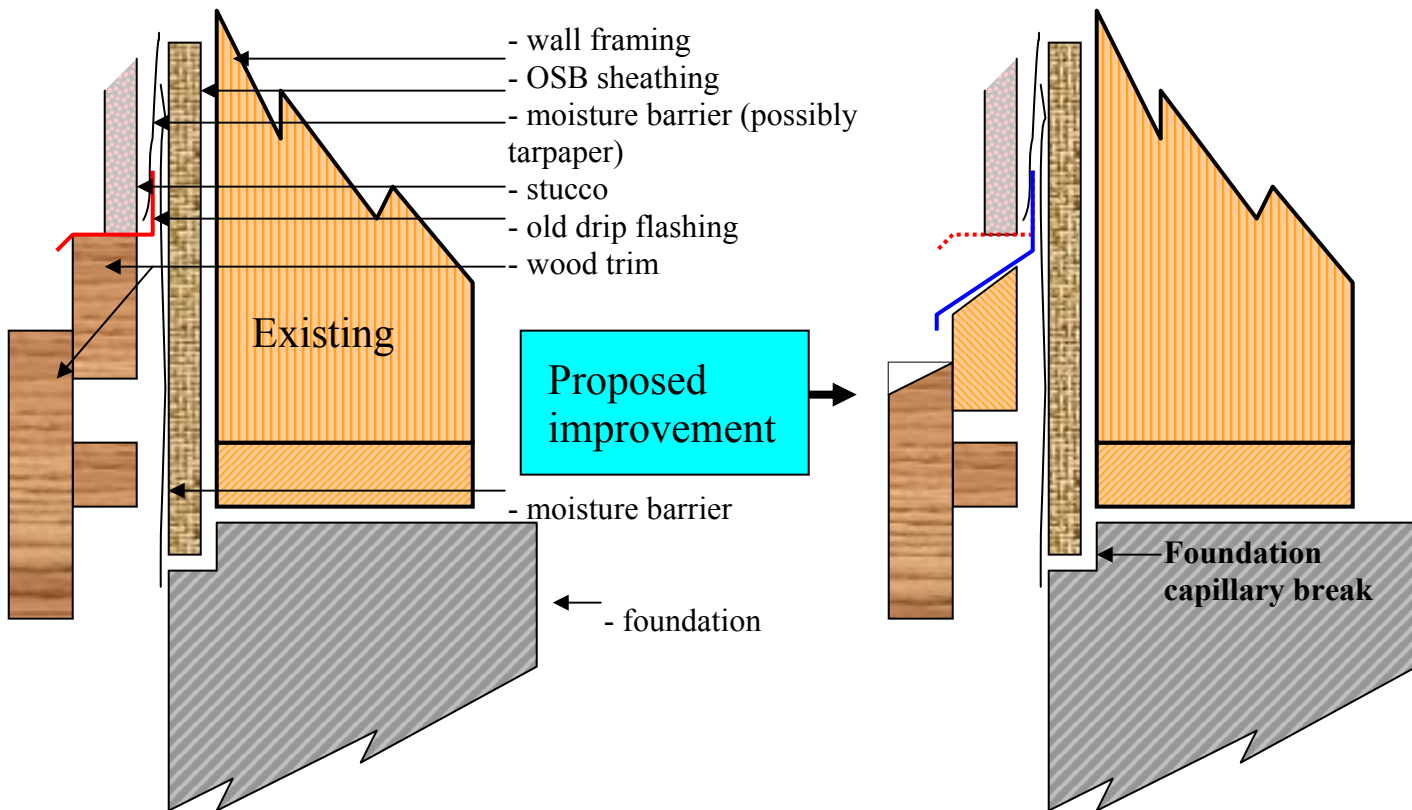
- all horizontal drip flashings e.g. wood trim are either flat or canted p7 \$1-\$1800 back to wall surface providing drainage 2 behind stucco cladding

Recommendation: remove all horizontal trim, cut or remove drip flashings, install new drip flashings



- repair cracks in stucco
- remove all horizontal trim
- there's no capillary break between stucco and drip flashing
- drip flashings provide capillary transition for water ingress to vulnerable framing components
- staining may be indication of interior moisture related damage
- square profile of wood trim does not allow water drainage
- skirting- trim is deteriorating

Exterior continued:



Wall and detail continued

**** - stucco terminates at/in foundation "capillary break"- possible capillary water ingress p8



- stucco does not provide a drip edge preventing capillary water ingress to wall sheathing and sill plate
 - crack at west elevation

wall transitions continued:



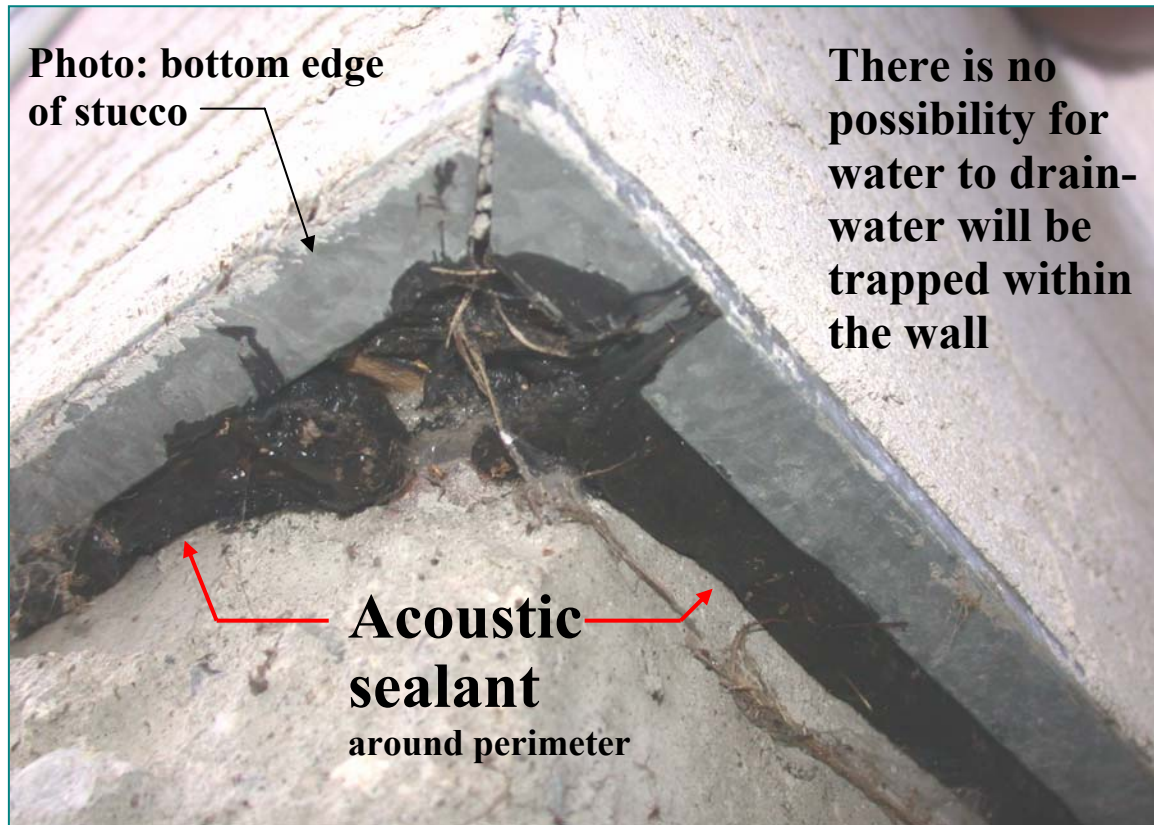
- all horizontal wood trim and drip flashings require new flashing and watershed detailing with appropriate caulking
- this roof detail should have had a cricket installed to diverge water and debris from backing up (this area should be checked every fall)

Photo: has been obscured

***** - roof side wall step flashings terminate behind stucco- water is directed behind stucco p9



Exterior continued:



***** - the bottom edge of the stucco has been sealed preventing any drainage- it's absolutely p9 essential no water enters these walls e.g. stucco cracks, around window perimeters, and horizontal trim

garage

- ** - door material- particle board panels and finger joint frames are vulnerable to moisture p9
- openers
 - obtain the transmitters from the owner and have them demonstrate the unit functions
- man door
 - type: metal clad- not fire rated
- ***** - install hydraulic door closer p9

\$150

Drainage

- emergency floor drain in furnace room
- *** - no emergency floor drain in laundry room located p11
- trap primer installed for furnace room "P" trap- good
- landscaping: proper grading from house
 - front- no problem
 - right- no problem
 - rear- no problem
 - left- no problem
- *** - vegetation- tree roots may congest drain tile e.g. SW cedar tree (corner of house) p11

Plumbing

Plumbing and all associated plumbing components underground, interior to walls, floors and ceilings, not attached to the home or not readily visible in the attic, or otherwise inaccessible or hidden from view, are not inspected and are excluded from this inspection.

- **** - $\frac{3}{4}$ " polybutylene service pipe has undetermined life expectancy p10

Comment: lookup polybutylene on the Internet- class-action suit (chlorine breaks this material down)



Photo: laundry room

- polybutylene piping
- copper fittings
- shut off valve for frost free hose bib
- PRV (pressure reduction valve is set at 50 PSI)
- electric panel ground wire is believed to be buried in the slab
- house main shutoff

- **** - polybutylene house piping- also vulnerable to chlorine p10 (retrofit plumbing- \$35 to \$4500 (eventual catastrophic failure)
- pressure regulating valve is set at approx. 50 PSI- good
- hose bib interior shut offs- under en suite vanity, at service entrance, and kitchen sink
- back flow preventers installed on hose bibs

- no faucet valve leaks detected

plumbing continued:

shut off valves:

- basins- no problems observed
- tub/shower - behind escutcheon plate

***** - basement shower escutcheon plate requires a drain hole p12

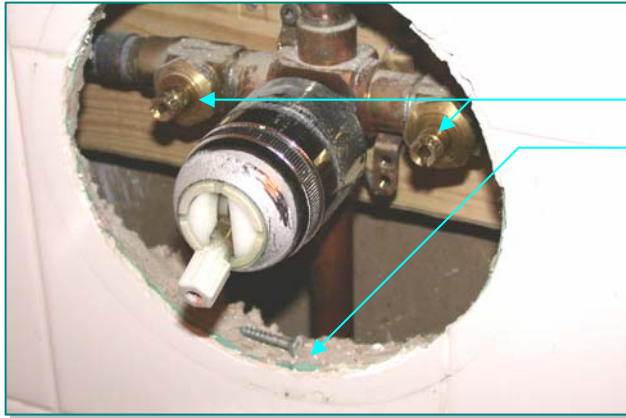


Photo: bathtub water control valve escutcheon plate removed

- shut off valves
- aqua board- tile substrate is vulnerable to moisture

- ** - Jacuzzis mechanical access- appears to be sealed with silicone caulking p12 (access not required until there's a malfunction, or leaking)

There are health hazards associated with using the whirlpool bath equipment. The whirlpool should be professionally disinfected and cleaned prior to use and thereafter maintained on a regular basis.

fixtures

- ** - basement toilet is a bit loose siliconed to peel and stick tiles does not provide adequate p12 adhesion (not a concern)

water heater- 5years old (life expectancy- approx 8 yr.)

- ***** - tank is not secured to structure (earthquake protection- possibility of gas leak) p12
- shut off - installed
 - Pressure & Temperature relief valve (P&T)-150psi @ 210*- good
- **** - 3/4" discharge should be continued to floor drain p12
- vacuum relief installed- good

Waste System

- ABS drain materials (noisy)
 - installation and venting- no problems observed
 - no odor from open vent detected
- ** - basement kitchen sink may not be properly vented p12
- emergency floor trap-primer installed
 - no blockage detected
 - no leaks detected

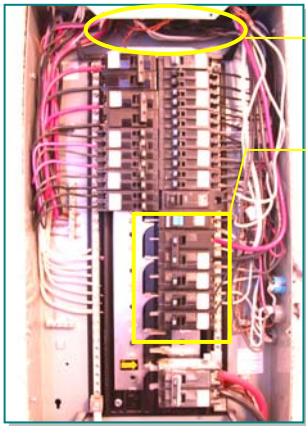
Electric

Wiring and all associated components underground, interior to walls, floors and ceilings, not attached to the home or not readily visible in the attic, or otherwise inaccessible or hidden from view as in attic insulation, are not inspected and are excluded from this inspection.

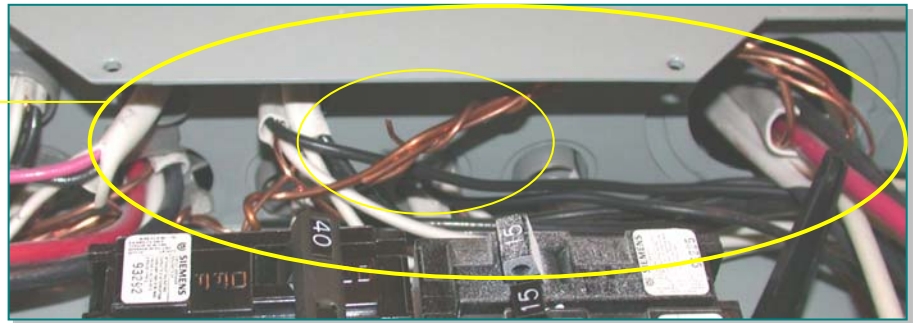
Discrepancies related to the electrical system should be considered as safety hazards.

- 120/240 Volt, appears to be 150 Amp aluminum service
- system grounding – copper wire believed to be under slab
- 64 possible breaker positions
- 20 circuits available
- breaker amp to wire size amp rating- good
- stoves- 2- 40 Amp breakers, dryer 30 Amps

***** - no GFI. breaker for Jacuzzi - replace existing breaker with GFI p13 (actual breaker \$60-\$80)



- new circuits are not properly grounded
- these breakers/circuits were not installed with a permit



sample outlets/switches (grounding and reverse polarity)

***** - basement- kitchen- no ground and reverse polarity circuits p13 (no permit taken)

Recommendation: hire an electrician to check all circuits and make repairs

\$250

- exterior outlets GFI protected
- kitchen- split circuits (each outlet has two circuits to prevent over loading)
- main floor- no problems observed
- bathrooms- GFI protected
- copper wire in branch circuitry

Heating Systems

I recommend all households with combusting appliances have Carbon Monoxide detectors installed near sleeping areas. **Approx. \$60**

- the unit is 8 years old, the design life is approximately 20 years
- ***** - combustion air vent requires cleaning p14
- venting- no problems observed
- ***** - filter system is hard to access- filter was solid with dirt p14
- fan- no problem observed
- gas detected 0%, CO: 0 ppm
- **** - have heating ducts cleaned **\$500**

Recommendation: have electrician reconfigure power cable to furnace (to provide easier access for changing filters)

Fireplaces (gas manufactured)

- *** - basement- direct vent type- not tested (inquire about servicing and function) I p14
- *** - main floor- conventional Fireplaces- should be considered as ornamental rather than a p14 p heat source
- ***** - Combustion Air and venting- house air leakage- no provision for makeup air p14

Recommend: installing a 5" makeup air vent in laundry room to exterior (do not seal the bottom of the door to the front entrance- this will be the path for makeup air for exhausting appliances) a separate 4" makeup air vent should be installed for basement suite. (employ ventilation consultant)

Ventilation

mechanical exhaust of habitable areas

- laundry dryer
- 2 range hoods
- 3 bath exhaust fans
 - dehumidistat- required to control humidity in the home, to reduce the amount of vapor entering walls and attic (set at 45% during winter)
- **** - central vacuum exhaust to garage (warm moist air) continue exhaust to exterior p14
- ***** - no make up air provisions for exhausting appliances (see recommendations above)

attic ventilation

- soffit venting- stiro-vents installed at approx. every 2nd rafter- good
- ***** - no roof vents p14 - install approx four mushroom vents p14
 - do not install a power ventilator or hurricane vent

Note: vent grills were installed in stucco chimney- they were stuccoed over

Impression of Ventilation

There is virtually no attic ventilation- possibility of mold and mildew growth. Ventilation is absolutely essential to maintain a healthy attic (to prevent mold, fungus, and rot)

Insulation

- thickness

- Attic

- approx. R28 fiberglass Bat insulation over vaulted ceilings more insulation may not be advisable

- approx R12 or less blown fiberglass insulation for all flat ceilings p15 (insulation is scattered and compressed reducing insulation values)

- insulation is contaminated with rodents droppings p15 (approx \$3.75- \$4/sq.ft)



Soffit-stiro-vents
- ensuite bath fan exhaust duct is insulated-good



Note:
- thickness of insulation
- uneven distribution/cov erage



- 4mil- air / vapor barrier where observed (attic and water service entrance)

- outlet- poly boots installed where observed

- I don't believe the vapor barrier joints are sealed p15

Pests

***** - evidence of rodents activity in the attic- compressed insulation and droppings p15

Interior

Exterior doors:

- locking hardware- medium duty
- ***** - install peep hole in garage entry door p16

Interior doors

- bedrooms
- *** - basement pocket door- no clearance under doors p16
- *** - main floor front bedroom- door is not hung plumb p16
- Bifold closet doors- require adjusting (up) p16

windows

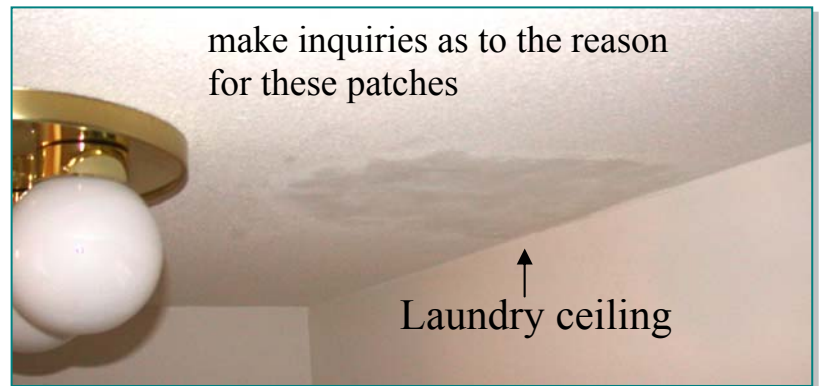
- thermal- no problems observed
- open freely

floors

- maintain caulking around vinyl flooring perimeters

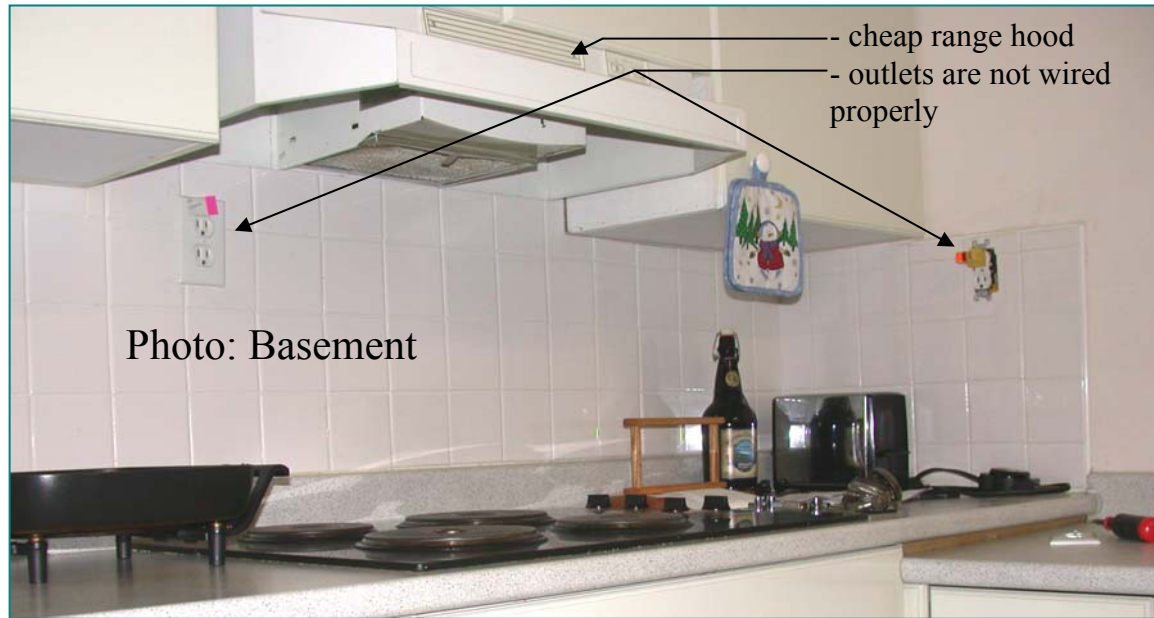
Walls and Ceilings

- **** - several ceilings repairs (rough) p16



Kitchen Appliances

- basement stove top functioning At Time of Inspection (ATOI)
- main floor- stove and oven functioning (ATOI)
- **** - hood vents- functioning (ATOI)- low-volume- a bit noisy p17



- DW
- ** - reposition drain line with anti-siphon loop p17

Note: Dishwasher is tested in the normal cycle only.

- **** - fridges- clean cooling coils p17
- *** - garburetor- is near end of life expectancy p17
- washer / dryer- functioned (ATOI)
- **** - install water hammer arrestors p17
- *** - metal dryer vent- may require cleaning p17

\$160

Cabinets:

Kitchen-

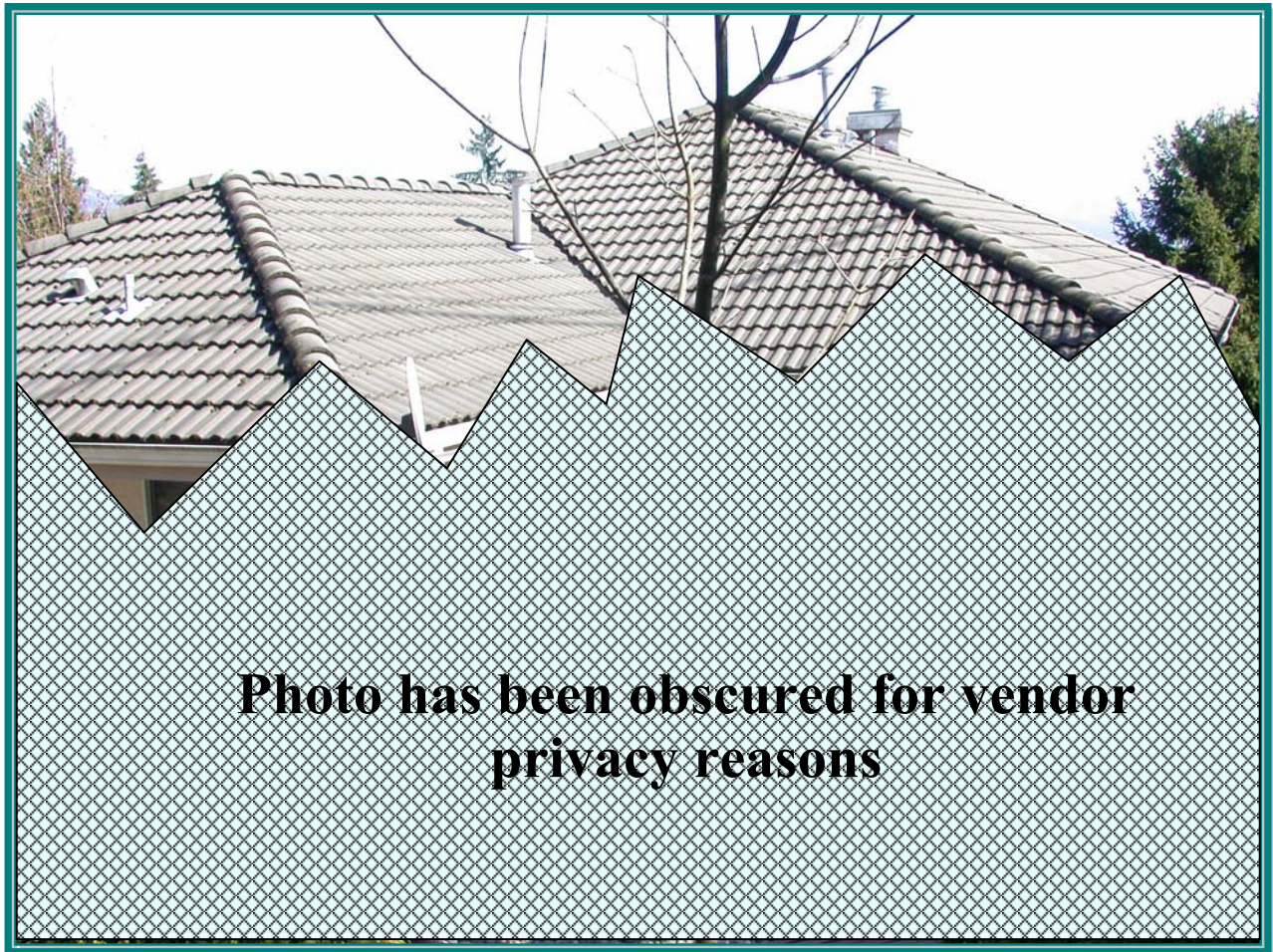
- ** - doors / hinges require minor adjustments p18
- drawers- no problems observed
- counter tops- some wear, no problems observed
- *** - no counter lighting- pot lights will cast shadows p18

Bathroom -

- doors / hinges- no problems observed
- tub and shower tile surround- no moisture detected p18
- exhaust fans- are a bit noisy

Safety:

Fire- install fire extinguishers in kitchens, laundry and garage



Summary

Items Requiring: Maintenance Work or Replacement in the near future

- ***** - 2 foundation cracks approx. 1/8" observed (east and west side p5) \$400
- ***** **Recommendation:** consult structural engineer- foundation may require monitoring hardware p5
- ***** - exposed front living room- round feature p7 caulk all windows/doors \$ 250
- ***** - all horizontal drip flashings e.g. wood trim are either flat or canted p7 \$8-\$1000
- ***** - roof side wall step flashings terminate behind stucco- water is directed behind stucco p9
- ***** - **the bottom edge of the stucco has been sealed preventing any drainage- it's absolutely p9**
- ***** - install hydraulic door closer p9 \$150
- ***** - basement shower escutcheon plate requires a drain hole p12
- ***** - tank is not secured to structure (earthquake protection- possibility of gas leak) p12
- ***** - no GFI. breaker for Jacuzzi - replace existing breaker with GFI p13 (actual breaker \$60-\$80)
- ***** - basement- kitchen- no ground and reverse polarity circuits p13 (no permit taken)
- ***** - combustion air vent requires cleaning p14
- ***** - filter system is hard to access- filter was solid with dirt p14
- ***** - Combustion Air and venting- house air leakage- no provision for makeup air p14
- ***** - no make up air provisions for exhausting appliances (see recommendations above)
- ***** - no roof vents p14 - install approx for mushroom vents p14
- ***** - approx R12 or less blown fiberglass insulation for all flat ceilings p15
- ***** - insulation is contaminated with rodents droppings p15 (approx \$3.75- \$4/sq.ft)
- ***** - evidence of rodents activity in the attic- compressed insulation and droppings p15
- ***** - install peep hole in garage entry door p16

-
- **** - deep profile aluminum gutters- evidence of to water overflowing gutters p4
 - **** **Recommendation:** install drip lip under underlayment to extend into gutter p4
 - **** - minor cracking at wall openings e.g. windows and doors, cracking p7 \$500
 - **** - stucco terminates at/in foundation "capillary break"- possible capillary the water ingress p8
 - **** - 3/4" polybutylene service pipe has undetermined life expectancy p10
 - **** - polybutylene house piping- also vulnerable to chlorine p10 (retrofit plumbing- \$35 to
\$4500)
 - **** - 3/4" discharge should be continued to floor drain p12
 - **** - have heating ducts cleaned \$500
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 - *** - vegetation- tree roots may congest drain tile e.g. SW cedar tree (corner of house) p11

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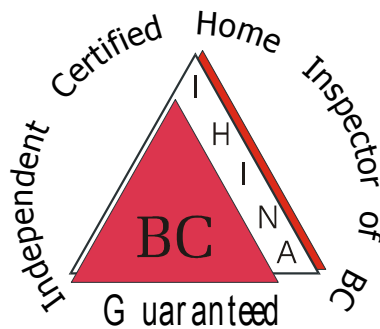
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- ** - roof penetrations- underlayment is not sealed around penetrations p4
 - ** - gutter fasteners- average installation (average strength re: snow loads) p4
 - ** - no slab caulking (caulking installed around the interior slab perimeter) p5
 - ** - door material- particle board panels and finger joint frames are vulnerable to moisture p9
 - ** - Jacuzzis mechanical access- appears to be sealed with silicone caulking p12 (access not
 - ** - basement toilet is a bit loose siliconed to peel and stick tiles does not provide adequate p12
 - ** - basement kitchen sink may not be properly vented p12
 - ** - reposition drain line with anti-siphon loop p17
 - ** - doors / hinges require minor adjustments p18

Ted Gilmour **Guarantees** each and every Inspection is conducted without third party influence, or bias. The findings in the report are true and accurate to the best of my knowledge and experience. Opinions expressed and estimated costs are subjective and should be verified through other sources prior to purchase decisions.

Guarantee

Ted Gilmour will refund your entire inspection fee if it can be shown that I have solicited inspections from any third party to the sale of the property inspected.

Signature: _____



Ted Gilmour, CPI
Sole Proprietor: T.H.E. Home Inspection Company

Additional information

In some cases, the inspector may not be able to provide an opinion because further troubleshooting or investigation is required. In these cases, the client should consider that the part, component or system to be "in need of repair" (or replacement) unless further troubleshooting or investigation proves to the contrary. The descriptions of deficiencies or associated comments are not intended to be interpreted by the client as relating to significance, or to any other aspects of the required repairs; including but not limited to safety and health aspects or cost to repair. The client should contact a specialist (experienced manufacturer or approved service persons who are licensed or bonded where required) to review the deficiencies and comments and make a detailed evaluation with associated repair methods and costs. If the report suggests a method of repair (or replacement) it should be considered as a recommendation only. The actual method of repair (or replacement) with associated costs should be determined by the specialist and reviewed by the Client. The Client should have the specialist contact this company for any clarification if required. This company performs a limited inspection in accordance with the requirements of the SIS "System Inspection Standards" and as such it should not be considered as a technically exhaustive inspection. Therefore, additional discrepancies may become evident when repairs are undertaken or estimated by the contractor. For this reason, estimates and the actual repairs should always be completed prior to closing/possession. After a repair is accomplished, the item repaired and all components of that entire system should be re-tested by the contractor. For example; when electrical repairs are accomplished the entire electrical system must be reviewed by the licensed electrician for safety, operation, compliance with the Canadian Electrical Code or applicable local codes and modified as required. Obtain invoices for all work performed with associated warranties for future reference should repairs not prove effective. The Inspector will report on visible existing recognized hazards associated only with the parts, components and systems inspected.

It should be realized that a safety hazard or other discrepancy may very well be related to a current code requirement which was not a requirement at the time of construction of this home. Code compliance is a specific exclusion in the STANDARDS OF PRACTICE and therefore excluded from this inspection and report. However, it is possible that some deficiencies in this report may include a code reference. Since the Inspector is not a party to the Sales Contract, or "Sellers Disclosure Statement" contact this inspector should any discrepant items be listed or if you have any concerns.

If any other inspections have been performed on this property you should contact this company should there be any differences between that report and the discrepant items within this report.

The following inspections were not performed:

A. Termite and Wood destroying Insect Inspection: Termite and wood destroying insect inspections should be performed by a licensed member of the Structural Pest Management Association of BC. Wood damage and rot created by wood infesting organisms, insects, and rodents, or the presence or absence of these organisms, insects or rodents can only be accomplished by individuals who are licensed for this purpose. This company, by law, cannot perform these inspections. I do not probe any wood, however, if deteriorated wood is observed during the course of this visual inspection it will be documented. It is important to understand that the citing of this condition should not be construed to mean that the presence of all deteriorated wood was detected and/or reported. The responsibility for the reporting of deteriorated wood is that of a licensed inspector. **If** this home is infested or has had previous infestation of wood destroying insects or organisms a spot check should be made of components interior to the wall/ceiling cavities by opening these areas to determine the extent of any damage. This should be negotiated between the buyer and seller.

B. Optional Inspections of other systems and attachments: Optional inspections of other systems and attachments as referenced under the Standards of Practice and "SIS" are specifically excluded from this inspection unless otherwise noted

C. This inspection also excludes an inspection or testing for the possible presence of or danger from odors, any potentially harmful substances, pollutants, contaminants and environmental hazards including but not limited to radon gas, lead paint, asbestos, mercury, urea formaldehyde, noise, fungus, bacteria, molds and toxic or flammable chemicals. The inspector is also not responsible for the determination of conditions which may provide harborage or sustenance for bacteria, mold and fungi, the presence of dirt, dust and other air-borne particles. It has been determined that some buildings and houses may be affected by unhealthy indoor air contamination I recommend you enlist the services of a professional who is qualified to test for indoor contamination and environmental hazards. (Yellow Pages under:

Environmental & Ecological Services)

When a "random sampling" or "spot check" indicates a discrepancy with a part, component or system, then all other identical components should be checked prior to closing. E.g., If a spot check indicates that a lighting fixture is not electrically grounded then all other fixtures should be tested for electrical grounding by a qualified contractor.

Opinions rendered in this report are based on observations of apparent performance and are the sole opinions of the inspector based on his experience. Therefore, it should be understood that there may be differences of opinion between this inspector and other inspectors.

The scope of this inspection was limited to conditions which were present and visible at the time of the review. The report and inspection are not intended for the purpose of detecting all defects existing or potential. Rather, they are intended to reflect a careful but limited visual inspection. Since all elements undergo a constant rate of change and deterioration no prediction of future conditions can be made.

No verbal statements by the inspector are to be considered a part of the inspection or of this report. As the report is being written there may be differences to the initial verbal opinion, based on accumulated knowledge of the property. On my computer I am still making discoveries by zooming in on photos and through enhancements. The final report reflects the true opinion/conclusion of my findings.

This report is for the confidential and exclusive use of the client and may not be transferred to any other party. Third parties should understand that since they were not present during the inspection and did not have the benefit of any technical explanations, addendums, attachments and enclosures to the report, did not participate in the inspection summary or telephone counseling or clarifications it would be imprudent to depend on this inspection report. Third parties should also understand that structural and mechanical failures can occur in short periods of time. This company assumes no liability to unauthorized third parties for the content of this report. All third parties should obtain their own inspections by the inspector of their choice. This report is not for resale!

In the conduct of this inspection, the Inspector has acted as a consultant to provide information to the Client for use as the Client may see fit. As such, the Inspector's involvement in any activities related to this residence shall terminate with the submission of this report. As a consultant, to the Client, it is the sole function of the Inspector to provide information to the Client regarding the condition of the residence and not make any decisions on repair work. Such judgments and decisions are, of course, left to the Client.

This report was prepared on a computer. Infrequently, a word or part of a sentence may be accidentally deleted or altered during editing. Should you encounter such a condition or any other irregularity, please contact me as soon as possible to make the necessary corrections and provide you with a replacement page(s). All photos and text are deleted from my computer the following day after the report is delivered. Each report requires between 50 MB to 80 MB of disk space. That represents 35 to 60 floppy disks or one Zip disk per inspection. After I have made a hard copy for my records I do not require the computer file as every inspection is unique.

This inspection report should not be considered as a warranty or a guaranty.

Please feel free to call me should you have any questions. 604- 294-0066

Suggested: Routine Maintenance Required

The internet is one of the best educational tools for home repair/maintenance, add these sites to your browser. On CD copy: sometimes full address doesn't copy so- fill in the remainder.

Information can be scary; being uninformed can be worse.

For more maintenance/repair/and general home info:

<http://www.hc-sc.gc.ca/english/index.htm> Health Canada

<http://www.mold-help.org/> or <http://www.toxichome.org> a rather dramatic look at mold

<http://www.cmhc.ca/en/burema/gesein/abhose/index.cfm> CMHC articles

<http://www.bchydro.bc.ca>

<http://www.cedarbureau.org/>- cedar roofing

<http://t.webring.com/hub?ring=defect&id=3&hub> Construction Defects

<http://www.inspect-ny.com/> (ASHI Home Inspection & Construction Info)

<http://homerepair.about.com/homegarden/homerepair/>(the whole enchilada)

<http://www.askthebuilder.com/>

<http://www.theplumber.com/handbook.html> - Testing (author of: My House is Killing Me)

<http://www.syntheticstucco.com/> EIFS/ what is EIFS

<http://www.kryton.com/> concrete problems?

<http://t.webring.com/hub?ring=defect&id=3&hub> **National Alliance Against Construction**

Defects

A brief summary of Your Home maintenance.

- roof - trim tree branches, clean off debris, check for damaged shingles / flashing
- gutters - keep clean, check that water drains properly
- divert all water away from house, i.e. downspouts, etc. Grade should slope away from structure.
- exterior painting (**exposed wood deteriorates quickly and can lead to interior rotting**)
- perimeter growth - keep dirt 8" minimum from cladding, and keep growth back from wall
- test smoke alarms- monthly
- test GFI/GFCI- monthly, install GFCI receptacles near all appropriate areas (bath, kitchen, exterior, garage, etc.) test all present GFCI receptacles for proper operation.
- test garage door safety reverse- monthly
- check fire extinguishers- monthly (indicator should be in the green)
- pour water in unused drains- monthly
- drain hot water tank - annually
- have furnace serviced every fall approx. \$100
- replace furnace filter at start of cold season and then every month or as required don't let the filter become too dirty ("HEPA" filters recommended)
- shower tile - clean and check caulking / grout (treat with grout sealer annually)
 - re-grout / caulk if necessary
- stove- hood fan wash filters periodically as required

- dust- cooling coils under fridge once a year (dust retards efficiency)
- check weather stripping once a year
- shampoo carpets yearly (dirt causes premature wear)
- purchase professional window cleaning tools (“T” handle squeegee mop washer and squeegee- never use Windex or other cleaners as they have wax in them that cause windows to get dirty faster- use sunlight dish soap)
- annually remove dryer duct and vacuum lint out
- turn water off for washer when on holidays (hoses fail eventually)
- check that toilets are secure to floor. (no movement)
- check that toilet are not compensating or cracked.
- vacuum exhaust fans- turn power off or unplug
- adjust cabinet doors- so they don’t bind or hit opposing door
- check under sinks for leaks- water will destroy bottom of cabinets
- don’t allow water to sit around rear of sink counter- will swell counter eventually
- always use cutting board
- test bathroom GFI outlet monthly
- use three parts water to one part bleach to kill fungus in bottom of aluminum windows
- adjust patio door if it binds or scrapes

Number One Rule: Don't do quick cheap repairs, i.e. (giant caulk repairs)

Home Maintenance Schedule

Monthly Checks

- Exercise Ground Fault Circuit Interrupter Breakers and outlets.
- Test garage door emergency reverse sensitivity.
- Test smoke alarms.
- Test Carbon Monoxide detectors.
- Check all fire extinguishers (indicator should be in the green range)
- Pour water into seldom used drains to keep the trap seal intact. (trap primers are recommended)
- Check all door and window latches and hardware for proper operation and security, particularly those used for emergency exits.
- Perform general inspection of heating unit, clean or replace filters. Follow manufacturer’ s instructions for maintenance and service.
 - Check that makeup air vent is not clogged with debris.
- Perform visual inspection of water heater

Every Six Months

-Metal chimneys

- check for rust
- check that the rain cap and flashings are secured
- check that caulking is still effective around storm collar (clean off and re-caulk if necessary)

-Roofs

- check for missing, loose, or damaged shingles
- check all flashings for damage or leaks

-Gutters and down spouts

- check for proper fastening
- check for leaks at joints and corners
- check that gutters don't overflow from improper slope or debris buildup
- clean gutters by first disconnecting the down spouts from the foundation drainage system and flush gutters with water

- Inspect fascia and soffits for damaged wood and bird' s nests/rodents.
- Exterior walls should be checked for any cracks, rot, damaged, loose or missing pieces.
- Check retaining walls for any indication of movement or deterioration of structure.
 - check wood retaining walls for rot and insects
- Check that toilets are fastened firmly to the floor and there is no sign of leaking as in discoloring around toilet base
- Clean aerators in all faucets.
- Clean debris from all fixture and floor drains and flush with clean water
- Check all accessible supply plumbing pipes and connections for leaks
- Check all accessible drain piping for leaks
- Inspect basement, foundation walls and crawl spaces for deterioration, cracks and moisture penetration. Monitor or repair as necessary.
- Vacuum lint from cloths dryer ducts
- Clean or replace filter in range hood; wash fan blades and housing.
- Check for loose connections to garburetor and that it doesn' t leak
- Clean refrigerator drain pan, wash door gaskets and vacuum condenser coils.
- Clean grills and wash blades on all exhaust fans (disconnect power)
- Check interior walls and ceilings for cracks and bulges. Check corners and areas of dead air space such as behind drapes, for evidence of condensation and mildew. Check for stains on interior finishes.
- Door frames which bind or develop an out of square condition, should be monitored.

Annually

- Fire extinguishers should be tested (yellow pages under "Fire Extinguishers")
- Clean smoke alarms with vacuum cleaner.
- Check main electrical panel for water penetration. Switch off/on all breakers. *(All loose connections should be tightened, burn marks should be investigated. All work should be done by qualified personnel)*
- Heating systems **should be serviced and tested by qualified personnel.**
- Heating ducts, registers and radiators clean with vacuum.
- Check the operation of the main water shut off valve.
- Check bathtub caulking and replace if needed. Tile grout should be cleaned and treated with a silicone or other type sealer.
- Attic should be checked for water infiltration.
 - Check that air circulation is unobstructed and adequate to prevent moisture from condensing on insulation and roof framing members.
- Check operation of garage doors
 - Safety reverse mechanism
 - Clean and lubricate hinges, rollers and tracks
- Check caulking and weather stripping on all windows and doors.
- Cut shrubs and vegetation back from wooden components of the house.

Fall

- Clean gutters
- Shut off water, open hose bibs, drain all exterior pipes, hoses, and valves.
- Stucco should be checked for cracks and sealed to prevent water infiltrating to the structure which can lead to severe rot.

Spring

- Clean gutters
- Re-connect all exterior houses and pipes and turn on water.
- Clean exterior of house with mild cleaning solution and wash down with hose.
- Clean and treat areas affected by fungus or mildew.

Things To Look Out For

Damp basements:

- caused by improperly installed or blocked perimeter drainage
- improper foundation damp proofing
- cracks in foundation walls
- cold basement (should be heated to prevent moisture from condensing on the cold surfaces of the foundation and concrete floor)

Retaining walls deteriorate:

- because of excessive water pressure due to the lack or blockage of drain holes
- tree root growth can split rock and will pressure walls to move
- a severe slope can gently slide over the years to topple a wall
- wood should be pressure treated

Wood deterioration caused by:

- improperly painted or insufficient preservative applied over the years
- caulking fails at transitions allowing water past the protective layers
- untreated wood in contact with earth or concrete
- lack of ventilation to remove accumulated vapor in soffits, attics, walls, etc.
- exposed end grain (should be sealed or treated)
- insects, fungus, molds, UV rays

Stucco failure caused by:

- extreme exposure to weather
- cracking allowing moisture infiltration (even hair line cracks)
- absence of or improperly installed flashings
- leaking around flashings, fasteners, windows, doors, wood or stucco detailing
- failure or insufficient caulk detailing
- interior moisture buildup from unsealed electric outlets, leaking exhaust fans, excessive interior humidity, missing or insufficient insulation and vapor barrier, etc.
- stucco scratch coat backing or mesh not fastened properly
- stucco too close to grade or even buried in earth or concrete sidewalks

Roof Problems

Tile

- look for broken, cracked, eroded, slipped out of place, or missing tiles
- are the tarred ridge and valley areas still well sealed
- are flashings properly installed and sealed (look for rusted flashings, rusted nails)
- look for debris buildup in valleys and vertical wall transitions

Gutters and down spouts

- are there leaf strainers and are they clogged
- is there evidence of water spilling over the edge (dirt splashing against the side of house, staining of gutter face and fascia, rotting fascia or rafter tails at corners and between down

spouts, gutters pulled away from rotting fascia)

- possible cause- improper slope, clogged gutters/leaf strainers, too long a run to down spouts, gutters and down spouts too small for the volume of runoff
- do the corners and joints leak (use gutter seal)

Vegetation:

- tree roots can damage or choke foundation drain tile, septic systems, and destroy sidewalks, retaining walls, and driveways
- branches can damage roof shingles, siding, gutters, and fascia
- shade promotes moss and algae growth in unwanted places ie: sidewalks
- vegetation against walls will promote damage caused by retained moisture (walls require air circulation)
- ivy should never be allowed to contact a wall or be allowed to grow up a tree trunk (the Ivy will eventually kill the tree)
- trees deposit debris on roofs which can end up in the drainage system

Ventilation required

- in attics and soffits
- in the home
 - exhaust fans in bath and kitchen
 - dehumidistat is required to control humidity by switching on the bath fan
 - make up air is required for fire places, exhaust fans, laundry- dryer, furnace or gas boiler

Questions and Answers Hotline > During the course of ownership of a home that I've inspected you may look to me for answers to questions about maintenance, repairs or remodelling. This service is free to all **T.H.E Home Inspection Company** clients. The photo enhanced reporting provides me with instant recall of the house and components to better serve you. I do not recommend contractors or service companies (conflict of interest) but will review contracts for you at no charge.